

5.51 Dimensional Requirements for Off-Street Parking

Statement of Intent

The intent of the standards set forth in this section is to ensure that the dimensions of stalls and maneuvering areas are adequate to serve the needs of the users.

Applicability

The following standards apply to required off-street parking spaces serving all uses.

General Standards for Parking Serving Residential Uses

1. The following subsections of Section 17.94 (S-12 Residential Parking combining zone regulations) of the Planning Code shall apply to the Wood Street Zoning District.
 - a. Section 17.94.060 Parking Spaces (Items A,B & C), with additional standards indicated below.
 - b. Section 17.94.070 Maneuvering aisles (all)
 - c. Section 17.94.090 Other Dimensional Requirements (all)

Additional Standards For Parking Serving Residential Uses

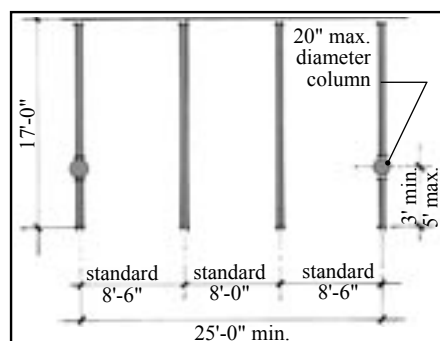
2. A standard parking stall size of 8'x17' may be provided for all required spaces serving residential uses.
3. In parking garages where the layout of stalls conforms to a regular grid of structural columns, the dimensions indicated in *Figure 5.51-1* shall be considered to provide the minimum allowable clearance related to the obstruction created by the structural columns.

Standards For Parking Serving Uses Other Than Residential Uses

4. Required dimensions for parking serving activities other than residential shall be as set forth in Section 17.116 of the Planning Code.

Standards For Other Parking Arrangements

5. Mechanical Parking Systems:
 - a. Mechanical parking systems including vertical stacking systems are allowed subject to approval by the Building Official. The Parking Stall Dimension for such systems shall be as required for safe operation of the systems.
6. Tandem Parking:
 - a. Tandem parking is allowed provided at least one independent parking space is provided for each dwelling unit.



Residential Parking
Parking Garage, minimum dimensions *Figure 5.51-1*

5.52 Joint Use Parking

Statement of Intent

The intent of the joint use parking standard is to provide for efficient and effective joint use parking.

Applicability

The following standards apply to all uses.

General Standards

1. Residential uses shall be allowed to utilize off-street parking serving other uses, provided the following conditions are met.
 - a. Joint use parking shall be located on the same lot or within three hundred (300) feet of the uses served.
 - b. Joint use parking spaces are guaranteed to be available for residential use between the hours of 6:00 PM and 8:00 AM.
 - c. Joint use parking shall be arranged to provide security and access at least equal to other required off-street parking.
 - d. Joint use parking arrangements shall be included as Conditions of Approval for the development project.
2. Joint use parking shall not account for more than thirty percent (30%) of the required off-street residential parking.

5.53 Curb Cuts

Statement of Intent

The intent of the curb cuts standards is to ensure that the width and spacing of curb cuts provides for efficient on-street parking and is consistent with a pedestrian-oriented development project.

Applicability

The following standards apply to all curb cuts at street lines except as specified below.

Exceptions

The locations and conditions indicated below are exempt from the standards set forth in this section:

1. Existing curb cuts serving existing buildings

General Standards

1. The maximum total allowable width of an individual curb cut is twenty-four (24) feet.
2. The distance between curb cuts on public streets shall not be less than twenty-four (24) feet.

Standards for Wood Street Overlay Zone

3. In the Wood Street Overlay Zone, the aggregate width of curb cuts shall not exceed 20% of the lot frontage.
4. The distance between curb cuts shall not be less than forty-four (44) feet.

5.54 Off-Street Loading Requirements

Applicability

The following standards apply to uses except as specified below.

Exceptions

The locations and conditions indicated below are exempt from the standards set forth in this section:

1. Existing loading areas serving existing buildings

Statement of Intent

The intent of the off-street loading standards is ensure that all development projects have adequate access to loading areas.

General Standards

1. Designated loading zones shall be provided at Public Access Areas subject to approval by the Planning Official.
2. There is no requirement for off-street loading areas other than those provided at Public Access Areas.

5.60 Location and Screening of Surface Parking

Applicability

The following standards apply to all surface parking areas except as specified below.

Exceptions

The locations and conditions indicated below are exempt from the standards set forth in this section:

1. Facilities located adjacent to elevated roadways

Statement of Intent

The intent of these standards is to ensure that surface parking shall be screened from view from the public rights-of-way or Public Access Areas.

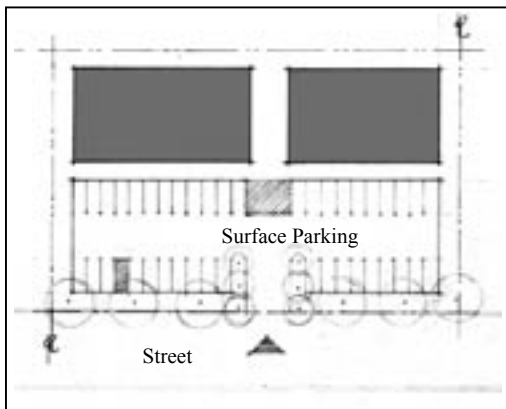


Figure 5.60-1

Not Allowed

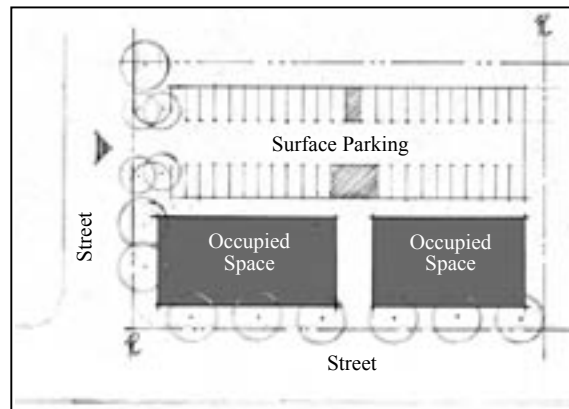


Figure 5.60-2

Allowed

General Standards

1. Surface parking areas containing more than four stalls are not allowed less than twenty (20) feet from a street line or street setback line unless each of the following conditions is met. See *Figure 5.60-1*.
 - a. The width of the surface parking does not exceed seventy (70) feet, measured from curb to curb
 - b. The surface parking is screened from view from the Public Right-of-way or Public Access Area by one of the following means.
 1. A solid fence or wall with a minimum height of four (4) feet located between the street line and the parking area with maximum transparent area of thirty percent (30%).
 2. An open fence with a minimum height of four (4) feet with adjoining planting that will create an opaque screen at least equal in height to the fence within three years of planting.
2. Individual surface parking areas less than twenty (20) feet from the street line or street setback line must be separated by a minimum of sixty (60) feet. The intervening space shall contain occupied building frontage, usable open areas, or a combination of the two.

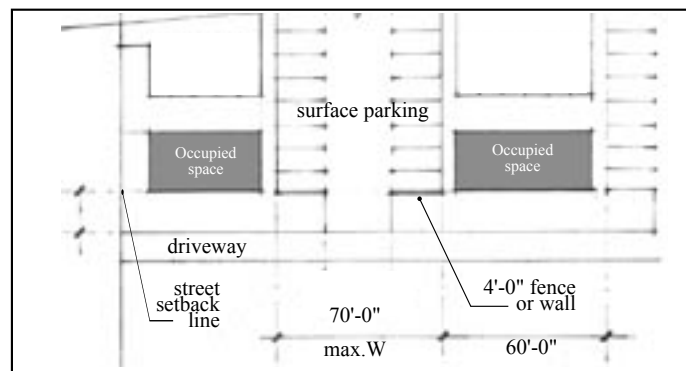


Figure 5.60-1

Standards for Wood Street Overlay Zone

3. No surface parking is permitted within the Wood Street Overlay Zone.

Standards for Frontage Road Overlay Zone

4. Surface parking is allowed in the Frontage Road Overlay Zone subject to the following limitations:
 - a. The width of surface parking in the Frontage Road Overlay Zone shall not exceed two hundred (200) feet or an aggregate maximum of fifty percent (50%) of the street frontage of any lot, whichever is less.
 - b. Surface parking in the Frontage Road Overlay Zone shall be screened as indicated in item 1b above.

5.61 Shade Trees at Surface Parking Areas

Statement of Intent

The intent of these standards is to ensure the provision of shade trees at surface parking areas.

Applicability

The following standards apply at all off-street surface parking areas containing 10 or more stalls.

General Standards

1. For every eight (8) parking spaces, a minimum of one tree shall be provided.
2. All required trees shall be 15 gal. minimum size at time of planting and shall be provided with an automatic irrigation system.
3. Tree wells shall be a minimum of 9 square feet in an area, measured to the inside face of curb or paving.
4. Required trees shall be located within the parking area and shall be distributed evenly. See *Figure 5.61-1*
5. All required trees shall be protected from vehicular traffic by a curb, bollard or metal tree guard.
6. Trees may be omitted where a covered structure is provided at parking stalls.

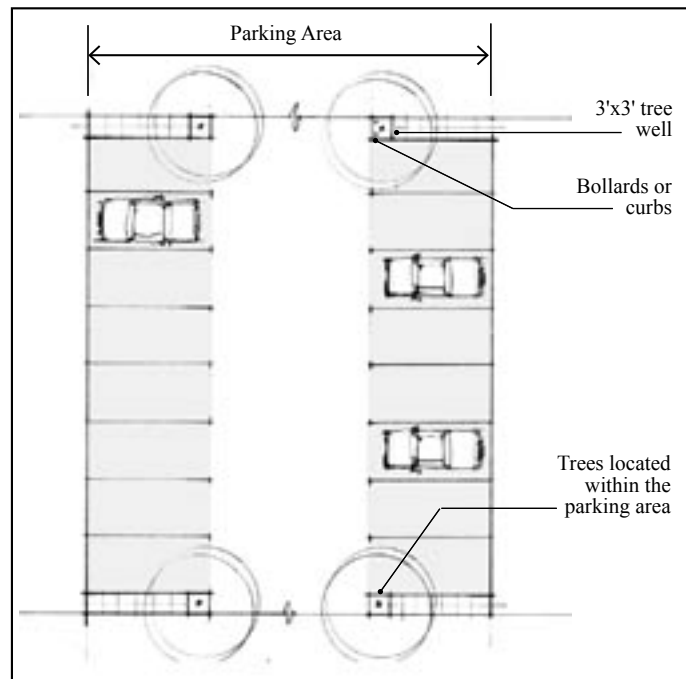


Figure 5.61-1

5.62 Location and Screening of Tuck-under Parking

Statement of Intent

The intent of these standards is to limit the impact of tuck-under parking on the street frontage.

Applicability

The following standards apply to all Residential Uses except as specified below.

Exceptions

The locations and conditions indicated below are exempt from the standards set forth in this section:

1. Existing Buildings
2. Adjacent to elevated roadways

General Standards

1. Tuck-under parking is not allowed less than twenty (20) feet from the street line or street setback line unless the following conditions are met.
 - a. The width of the tuck-under parking does not exceed seventy (70) feet, measured from end of stall to end of stall, or curb to curb. See *Figure 5.62-1*
 - b. The tuck-under parking area is screened by a wall or fence with a minimum height of six (6) feet. Openings in the wall or fence shall not exceed 40% of the area of the wall or fence.
2. Individual tuck-under parking areas located less than twenty (20) feet from the street line or street setback line must be separated by a minimum of sixty (60) feet. The intervening space shall contain occupied building frontage, usable open areas, or a combination thereof.

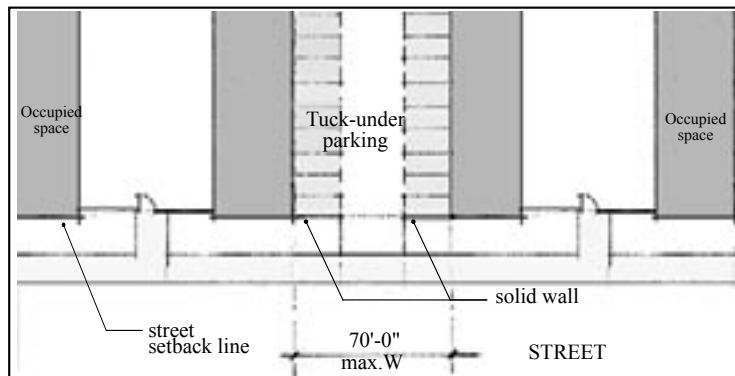


Figure 5.62-1

Standards for Wood Street Overlay Zone.

3. No tuck-under parking is permitted within the Wood Street Overlay Zone.

Standards for Frontage Road Overlay Zone

4. Tuck-under parking is allowed in the Frontage Road Overlay Zone subject to the following requirements.
 - a. Tuck-under parking shall be screened from view from the public right-of-way by a wall or fence with a minimum height of six (6) feet. Openings in the wall shall not exceed forty percent (40%) of the area of the wall or fence.
 - b. Occupied space or usable open space shall be located above the tuck-under parking.

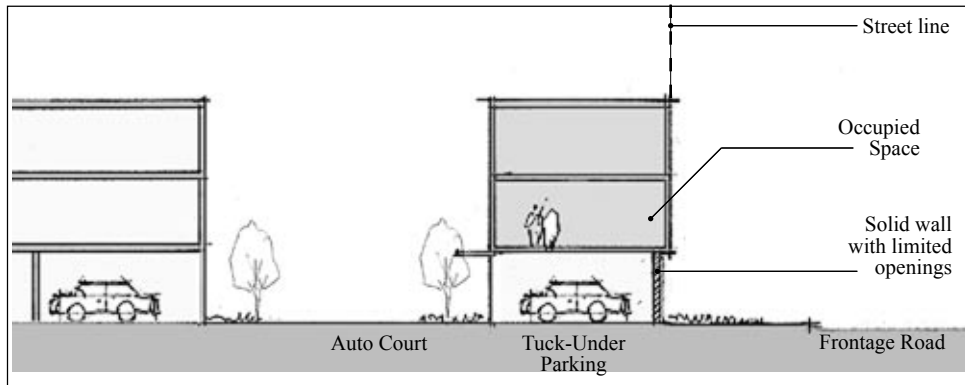


Figure 5.62-2

5.63 Location & Screening of Parking Garages

Statement of Intent

The intent of standards related to the location and screening of parking garages is to ensure that parking garages are screened from the street frontage. Three acceptable strategies for screening structured parking adjacent to the street line or street setback line are set forth below.

Option I - Below-grade parking with occupied space at the ground floor, See *Figure 5.63-1*

Option II - Occupied space at the ground floor, with parking above. See *Figure 5.63-2*

Option III - Parking garage screened by a "liner" of occupied space with minimum depth of twenty (20) feet. See *Figure 5.63-3*

Applicability

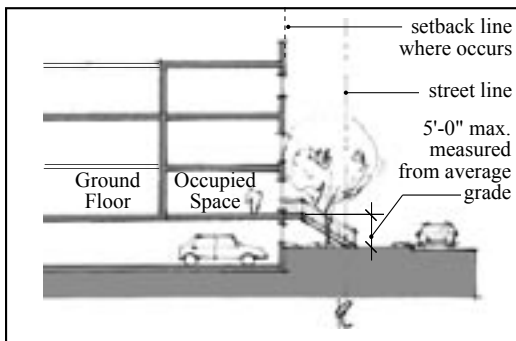
The following standards apply to parking garages containing three or more parking stalls except as specified below.

Exceptions

The locations and conditions indicated below are exempt from the standards set forth in this section:

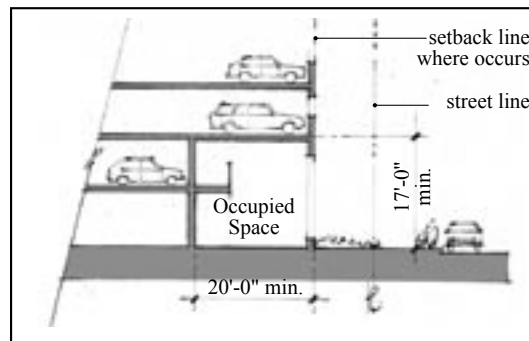
1. Parking garages developed within the shell of existing buildings
2. Parking garages adjacent to elevated roadways

Reference Section 6.25 for guidelines for parking garage facades.



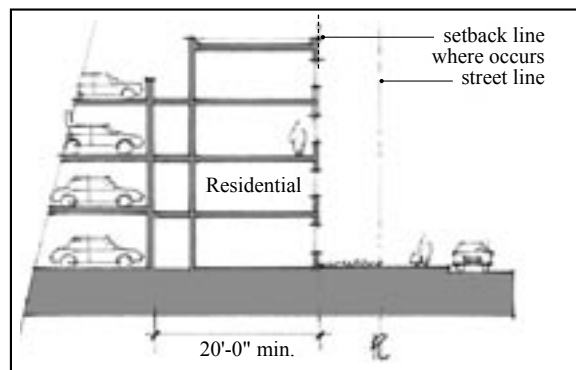
Option I
Below grade parking

Figure 5.63-1



Option II
Parking structure on setback line with occupied space at ground level.

Figure 5.63-2



Option III
Residential liner between parking structure public right-of-way (R.O.W.)

Figure 5.63-3

General Standards

1. Ground floor parking garages are not permitted within twenty (20) feet of the street line, except as specifically allowed by other standards set forth in this section.
2. Parking garage frontage may be located at the ground floor and less than twenty (20) feet from the street line or street setback line, provided the width of the garage frontage does not exceed sixty-five (65) feet. See *Figure 5.63-4*.
3. Above grade parking garages are allowed to extend to the street line or street setback line where occupied space is provided at the ground floor with a minimum depth of twenty (20) feet and a minimum height of seventeen (17) feet, measured to top of finish floor above. See *Figure 5.63-2*.
4. Below grade parking garages are allowed less than twenty (20) feet from the street line or the street setback line provided occupied space at least one story in height occurs immediately above. See *Figure 5.63-1*.

Standards for Wood Street Overlay Zone

5. No ground floor parking garages are permitted within the Wood Street Overlay Zone.
6. Vehicular entries to parking garages shall not exceed twenty-four (24) feet in width.
7. No more than two (2) vehicular entries to parking garages may occur from Wood Street within any two-hundred (200) foot distance measured at the street line.

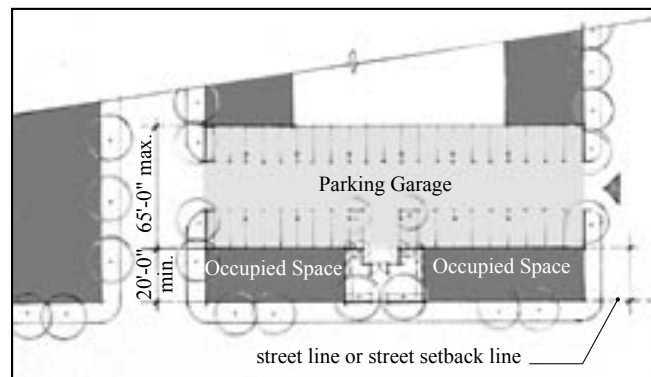


Figure 5.63-4

Standards for Frontage Road Overlay Zone

8. A ground floor parking garage not exceeding one (1) story or seventeen (17) feet in height measured from average exterior grade to the floor above may be located less than twenty (20) feet from the street line, provided occupied space or usable open space is located immediately above.
9. A parking garage or garages not exceeding two (2) stories or twenty-four (24) feet in height may be located less than twenty (20) feet from the street line, provided the aggregate length of the parking garage does not exceed two hundred (200) feet or fifty percent (50%) of the street line of any individual lot, and provided occupied space or usable open space is located immediately above.

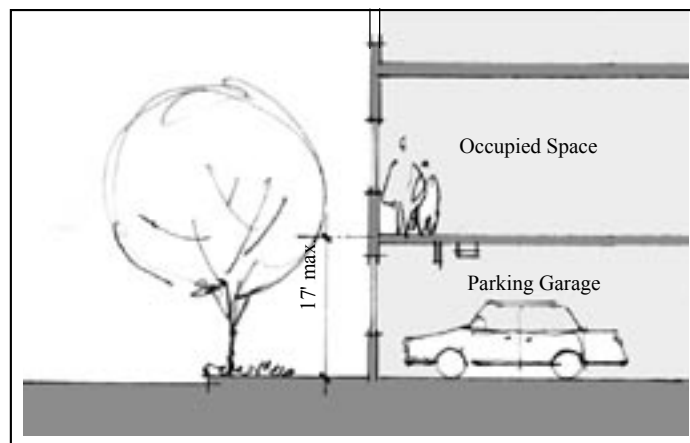


Figure 5.63-5

Allowable garage frontage
at Frontage Road Overlay Zone

5.70 Limitations on Signs

Statement of Intent

The intent of these standards is to ensure that the display area of signs is compatible with the proposed development.

Applicability

The following standards apply to all private signs visible from a Public Street or Public Access Area except as specified below:

General Standards

1. All signage shall be subject to the standards set forth in Planning Code Section 17.104.010 *General Limitations On Signs in Residential and Open Space Zones* except as otherwise provided in the following standards.
2. The display area and number of signs shall conform to the limitations set forth in Table 5.70-1, Summary of Signs Standards.
3. For activities with frontage exceeding seventy-five (75) feet on two or more public streets or Public Access Areas, the allowable aggregate display area and allowable number of signs may be doubled.
4. Billboards and other free standing commercial signs are not allowed.

Table 5.70-1 Summary of Signs Standards			
Use Activity	Sign Type	Aggregate Display Surface (square feet)	Allowable Number of Individual Signs
Residential	Home Occupation Signs	1	No signs allowed
Residential Facilities of three or more units		6	1 sign per project
Commercial	Business Sign	15	1 sign for each commercial establishment
Commercial Activities greater than 10,000 SF in floor area	Business Sign	35	2 signs for each commercial establishment
All Uses	Development Sign	75	1 sign for each separate development project
	Realty Sign	6	1 sign per project
Civic Activities	Civic Sign	1	1 sign per civic use
Civic Activities greater than 10,000 SF in Floor Area	Civic Sign	30	2 signs for each civic establishment

5.80 16th Street Station and 16th Street Signal Tower

Statement of Intent

The intent of these standards is to ensure that renovation of the Station and the scale and location of adjacent development is consistent with the Station's status as a City of Oakland Landmark.

Applicability

The following standards apply to the 16th Street Station located in Development Area 5 or to the 16th Street Signal Tower located in Development Area 6, as specified below.

General Standards

1. Any renovation, modification or addition to the Station shall conform with the standards set forth in Section 17.102.030 of the Planning Code "Special regulations for designated landmarks" and to the Secretary of the Interior's Standards for Rehabilitation of Historic Structures.
2. Any renovation, modification or addition to the station will be subject to review by the Landmarks Preservation Advisory Board, as set forth in Section 17.136.040 of the Planning Code.
3. Any re-use of the 16th Street Station shall include stabilization and repair of existing exterior materials to improve the exterior appearance and to ensure a weather tight building envelope.

Standards for Additions to 16th Street Station

1. Additions to the Station shall not exceed a maximum height of thirty-five (35) feet as set forth in Table 5.10-1, Development Standards Summary.
2. No addition shall be made to the 16th Street Station on the facade facing the 16th Street Plaza or on the southern facade facing the 16th Street Public Access Area.

Standards for New Buildings adjacent to the 16th Street Signal Tower

1. Additions to the Signal Tower are not permitted.
2. New structures shall be set back from the existing Signal Tower a minimum distance of fifteen (15) feet.

5.90 16th Street Plaza

Statement of Intent

The intent of these standards is to ensure that the 16th Street Station Plaza (Development Area 9) is developed as a publicly accessible outdoor space that provides an appropriate foreground setting for the 16th Street Train Station.

Applicability

The following standards apply to Development Area 9, also known as the 16th Street Plaza.

General Standards

1. No enclosed structures of any kind are allowed. (This includes no restrooms, storage spaces, etc.)
2. Site Development shall not adversely affect the special character, interest or value of the 16th Street Train Station and its site. (From Section 17.102.030)
3. Site lines shall be maintained across the Plaza between Wood Street and the façade of the main hall at the 16th Street Train Station.
4. The Development Area shall be landscaped with an appropriate dust free surface that may include a combination of paving and planting that is suitable for walking, sitting and similar activities.
5. Site development shall accommodate and promote the following specific activities.
Passive recreation
Occasional activities such as farmers-markets and craft-fairs
Vehicular drop at main entry to 16th Street Train Station
Occasional use of open space to accommodate overflow parking serving activities at the 16th Street Station
6. Site development shall not accommodate or promote the following specific activities
Active recreation
Overnight camping
7. The total area exclusively dedicated to vehicular circulation and parking shall not exceed 25% of the Development Area.
8. There shall be no obstructions above the plaza except for statues, awnings, trellises or similar devices to enhance its usability.
9. Site lighting shall be provided in accordance with City of Oakland Standards for Public Rights-of-way.
10. An average of one shade tree shall be provided for every 3,000 SF of Development Area. Trees shall be not be less than 15 gallon at time of planting.
11. All planting shall be provided with an automatic irrigation system.
12. All planting and irrigation shall be permanently maintained in good condition and, whenever necessary, replaced with new materials.

6.00

DESIGN GUIDELINES

6.10 Introduction to Design Guidelines

Introduction

The Design Guidelines establish the design parameters for the Wood Street Zoning District and address aspects of building and site design not otherwise regulated by the Development Standards. Each development project within a Development Area shall be evaluated in terms of how the design satisfies the design intent set forth in the Design Guidelines, in accordance with Section 3.30 above (Final Development Plan/Final Design Review). Subject to determination by the Planning Director, design solutions may be approved on the basis of conformance with the intent of the Design Guidelines without conforming to the specific recommendations set forth in those guidelines.

Applicability and Exceptions

The Design Guidelines are generally applicable to all Development Areas. Each set of guidelines includes a statement which identifies any limits of applicability within a Development Area as well as any locations or conditions that are exempt from the guidelines contained in that section.

Guidelines - Encouraged, Discouraged and Not Allowed

As a means of illustrating intent, certain guidelines provide examples under the categories of “encouraged,” “discouraged” or “not allowed”. These examples are representative and are not an exhaustive list of all possible examples in each category. Elements that are indicated as discouraged may be allowed subject to the determination by the Planning Director that a certain design solution in a particular application is consistent with the intent of that Guideline.

Optional Prescriptive Guidelines

For certain guidelines, a set of optional prescriptive guidelines is provided. Design solutions which adhere to the prescriptive guidelines shall be deemed to have met the intent of the Design Guidelines. Design solutions which do not adhere to the prescriptive guidelines must be consistent with the intent of the Design Guidelines, subject to determination by the Planning Director.

Guidelines for specific locations

Guidelines applicable to specific Overlay Zones or Development Areas are included in some sections. In case of conflict, guidelines applicable to a specific Overlay Zone or Development Area shall take precedence over general guidelines.

6.20 Architectural Character

Applicability

The following guidelines apply to all Development Areas.

General Guidelines

1. Each development project shall by use of massing, articulation, materials and detail establish a coherent, integrated architectural character that is consistent within each development project. All built aspects of the development project shall be considered as contributing to the architectural character of the development project, including but not limited to; site structures and furnishings, exterior lighting, paving and signage.
2. Buildings are not restricted to any specific architectural style. Within the overall scope of the Wood Street Zoning District, a variety of architectural styles are encouraged as a means of enhancing the mixed-use, urban character of the development project.

6.21 Pedestrian Connections

Applicability

The following guidelines apply to all Development Areas except as specified below.

Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing buildings
2. Development Area 8
3. Frontage Road Overlay Zone
4. Plaza Overlay Zone
5. Adjacent to elevated roadways

General Guidelines

1. Provide multiple street facing openings and pedestrian entries into the site. Particular emphasis should be placed on visual and pedestrian connections at Wood Street. See Figure 6.21-1.

Encouraged

- a. Multiple pedestrian connections with Public Streets or Public Access Areas
- b. Ground level views into the site from the public streets or Public Access Areas
- c. Ground level pedestrian lanes or auto/pedestrian lanes that subdivide larger Development Areas.

Discouraged

- a. Building frontage at street lines or street set back lines exceeding 200 feet in length without provision of ground level pedestrian access and views into the interior portion of the development site.
2. Security gates and fences at pedestrian entries should have an average transparency of 50% or greater.

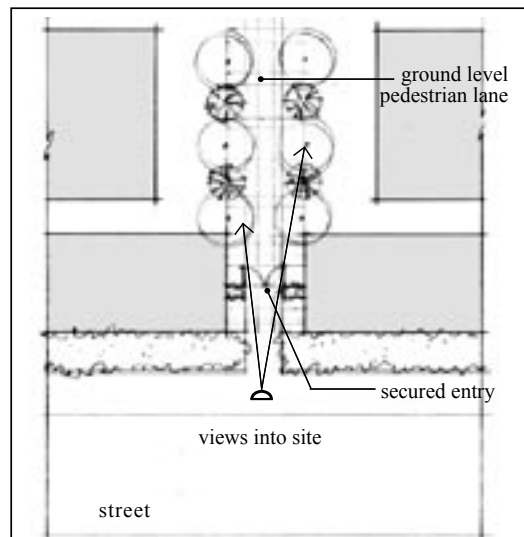


Figure 6.21-1, (Illustrative Only)

6.23 Building Massing

Applicability

The following guidelines apply to portions of buildings located within sixty (60) feet of the street line or street setback line and greater than two (2) stories or twenty five (25) feet in height except as specified below.

Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Building frontage on 10th Street
2. Building frontage on the 20th Street Public Access Area
3. Building frontage adjacent to elevated roadways
4. Existing buildings
5. Commercial uses at Development Area 8

General Guidelines

1. Massing should reduce the visual scale of large development projects and to respond to specific adjoining conditions.

Encouraged

- a. Articulation of separate building volumes.
- b. Building massing that emphasizes corner locations
- c. Building massing that emphasizes major entry points into the site
- d. Creation of a varied building silhouette by incorporating significant changes in massing at the roof lines

Guidelines for Wood Street Overlay Zone

1. Significant changes in building massing are strongly encouraged to reduce the perceived scale of buildings fronting Wood Street. See *Figure 6.23-1*.
 - a. A significant change in massing is defined as a building offset having a width and depth of not less than eight (8) feet and a height of not less than one story.

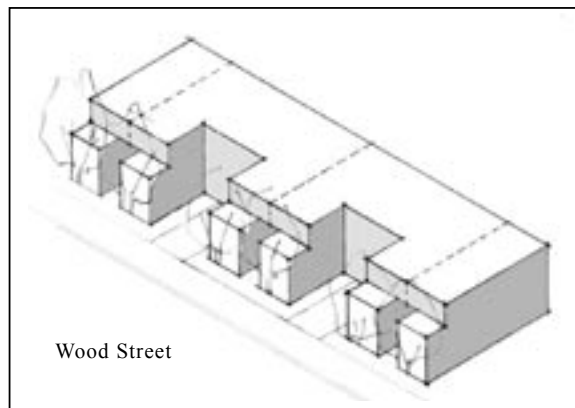


Figure 6.23-1, (Illustrative Only)

6.24 Building Articulation

Applicability

The following guidelines apply to all building facades located parallel to and less than twenty (20) feet from a street line or street setback line except as specified below.

Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Building frontage on 10th Street
2. Building frontage on the 20th Street Public Access Area
3. Building frontage adjacent to elevated roadways
4. Existing buildings
5. Commercial uses at Development Area 8

General Guidelines

1. Building facades shall be articulated by means of recesses, changes in plane, bays, projecting elements, variations in exterior finishes or a combination thereof. Articulation strategies may include emphasizing groupings of dwelling units or occupied spaces, establishing vertical and horizontal rhythms, creating a varied building silhouette, adding visual accents and similar architectural strategies.

Prescriptive Guidelines (Optional)

1. Any building plane greater than sixty (60) feet in width and more than one story in height shall be articulated by a recess or projection extending at least two stories in height with a minimum width of four (4) feet and a minimum depth of two (2) feet. See *Figure 6.24-1*
2. The maximum length for a single building plane may be increased to one hundred (100) feet when building articulation is provided in the form of a recess or projection extending at least two stories in height with a minimum width of two (2) feet, a minimum depth of one and one half (1 1/2) feet, and occurring a minimum of three times within any one hundred (100) foot length of building facade. See *Figure 6.24-2*
3. The allowable length of a single uninterrupted plane may be doubled at the first story.

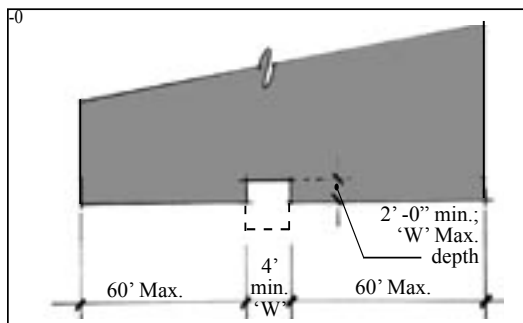


Figure 6.24-1, (Illustrative Only)

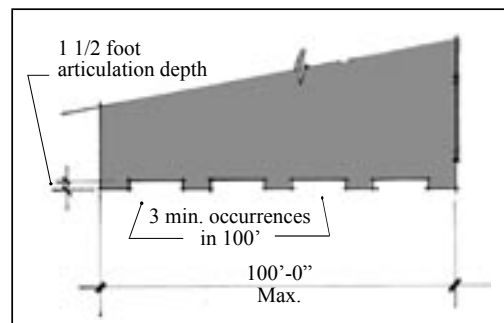


Figure 6.24-2, (Illustrative Only)

6.25 Parking Garages Facades

Applicability

The following guidelines apply to all parking garage facades visible from and located within sixty (60) feet of a street line or street setback line except as specified below except as specified below.

Exceptions

The locations indicated below are exempt from the guidelines contained in this section:

1. Building frontage on 10th Street
2. Building frontage on 20th Street
3. Building frontage located adjacent to and below elevated roadways.
4. Facades of garages that will be concealed by subsequent phased construction.

Coordination with Development Standards

Refer to *Section 5.64* of the *Development Standards* for limitation on the location of parking garages.

General Guidelines

1. The architectural character of the parking garage facade shall be integrated with the facade of the occupied space served by the garage. See *Figure 6.25-1*
 - a. Patterns of openings at garage facades should be similar in rhythm and scale to openings at the occupied spaces served by the garage.
 - b. Garage facades should incorporate awnings, canopies, sunscreens, planters, ornamental railings and other elements to provide a visual richness comparable to that of facades at the occupied space served by the garage.
2. Transparent openings at garage facades, including unglazed openings or openings with clear glazing shall not exceed 50% of the wall area visible from the exterior at any story of a parking garage.
 - a. There is no limitation on the area of permanent translucent materials at garage facades, such as glass block or etched glazing.
3. Lighting at parking garages shall be located or screened to prevent direct view of light source from streets or public access areas, to the greatest degree practical.



Figure 6.25-1

6.26 Balconies

Applicability

The following guideline applies to balconies at all buildings.

General Guidelines

1. Where provided, balconies shall be visually integrated with the architectural character of the project and shall not be the predominant element on any facade facing the street line. See *Figure 6.26-1*

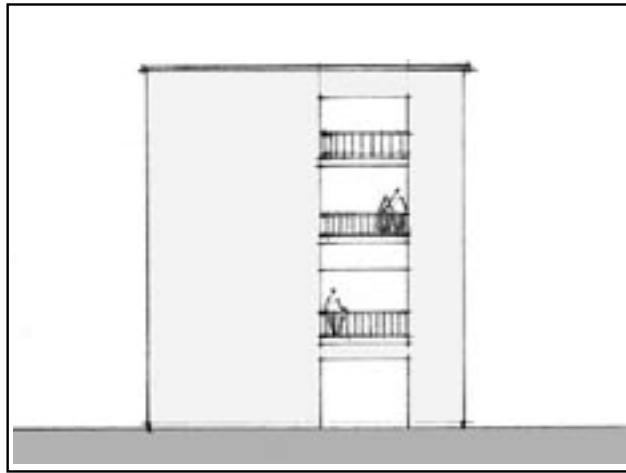


Figure 6.26-1, (Illustrative Only)

6.27 Awnings & Canopies

Applicability

The following guidelines apply to all buildings or portions of buildings parallel to and located less than twenty (20) feet from a street line or street setback line except as specified below.

Coordination with Development Standards

Refer to Section 5.32 of the Development Standards for requirements related to building entries at building frontage.

General Guidelines

1. Storefront awnings and/or canopies are encouraged at ground level commercial locations to provide articulation to the building facade, sun and rain protection to pedestrians, and shield large window areas from glare.
2. Awnings and canopies shall be divided into sections that relate to and emphasize vertical elements of the building facade.
3. Awnings and canopies shall align with horizontal datum lines at the building façade
4. Awnings and canopies shall be constructed of durable materials. Fabrics designed for exterior use are acceptable.

Guidelines for Plaza Overlay Zone

5. At building facades within the Plaza Overlay Zone, a consistent pattern of awnings or canopies shall be provided at the ground floor of each facade fronting the plaza.
 - a. These awning or canopy treatments are not required to be consistent with those at other buildings fronting the plaza.
 - b. This requirement does not apply where an arcade, porch or other sheltering architectural element is provided at the ground floor.

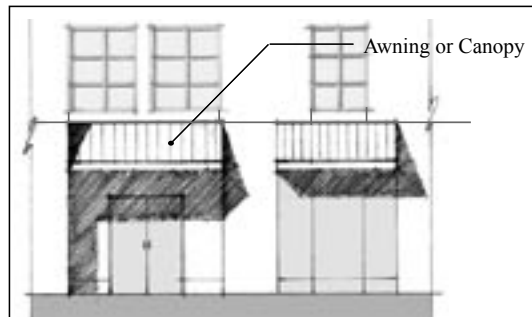


Figure 6.27-1, (Illustrative Only)

6.30 Windows

Applicability

The following guidelines apply to all buildings or portions of buildings visible from and within sixty (60) feet of the public rights-of-way except as specified below.

Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing Buildings

General Guidelines

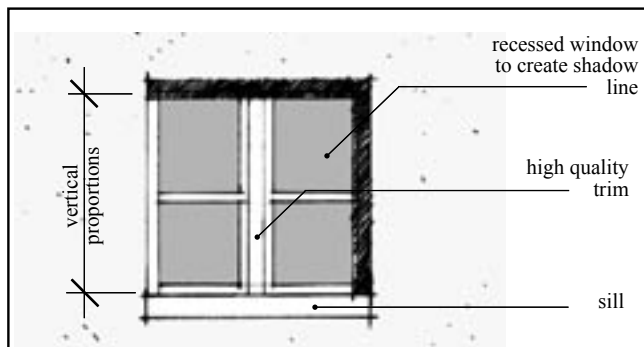
1. The proportion and subdivision of typical windows should reflect the overall proportion and character of the building. Exceptions for special windows are allowed.
2. Window materials, trim (if any), and detailing should be of good quality and consistent with the architectural character of the building and compatible with the other exterior materials.
3. Windows set flush with cement plaster (stucco) finish without provision of trim, projecting sills, or other perimeter detailing are discouraged
4. Glazing shall be transparent to the greatest degree practical

Encouraged: clear glazing, Low-E glazing where needed for sun control

Discouraged: tinted glazing except at special locations, or at commercial occupancies located above the ground floor

Not Allowed: reflective glazing, except at spandrels or other special conditions consistent with overall architectural design

5. Window grills or security screens are discouraged in all Development Areas, particularly at locations less than twenty (20) feet from a street line or street setback line.
 - a. Where necessary due to specific security concerns, window grills or security screens shall be fabricated of high quality materials and be designed as an integral part of the architectural character of the development project



Example of window articulation

Figure 6.30-1, (Illustrative Only)

6.31 Garage Doors

Applicability

The following guidelines apply to all garage doors visible from and located less than sixty (60) feet from a street line or street setback line, and serving parking garages containing three or more parking spaces except as specified below.

Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing Buildings

Coordination with Development Standards

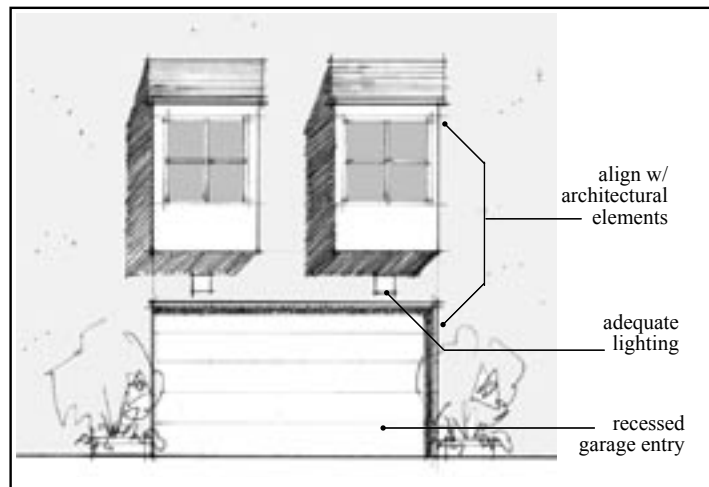
Refer to *Section 5.63* of the *Development Standards* for limitations on the location of garage doors within in the Wood Street Overlay Zone.

General Guidelines

1. Automatic, motor operated garage doors shall be provided at all vehicular entries to parking garages
2. Garage door openings shall be aligned with windows, bays or other architectural elements to create an integrated composition consistent with the overall architectural character of a development project. See *Figure 6.31-1*
3. Garage doors shall be recessed a minimum of one (1) foot from the face of the adjoining building facade.
4. Garage doors shall be constructed of high quality durable materials:

Encouraged: Single panel sliding-type garage doors
Sectional overhead doors

Discouraged: Residential grade garage doors
Single panel overhead doors



Example of garage door articulation

Figure 6.31-1, (Illustrative Only)

6.32 Service Access

Applicability

The following guidelines apply to all ground level service doors or gates visible from and located less than twenty (20) feet from a street line or street setback line, and which provide access to waste handling areas, electrical or mechanical equipment, gas or electric meters, or other non-occupied service spaces except as specified below.

Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Building frontage adjacent to elevated roadways
2. Existing service access doors at existing buildings.

General Guidelines

1. All service doors and gates shall be designed as integral elements of the building design.
2. The aggregate width of service doors shall not exceed fifteen (15) feet within any 60 feet of street frontage
3. Doors exceeding thirty (30) square feet in area (such as doors to waste handling areas or electric transformers) shall be recessed a minimum of 9 inches from the primary building plane
4. Service doors or gates shall not allow any view into space served. Louvers required for venting or ventilation purposes are acceptable provided they do not allow visibility into service areas.

Guidelines for Wood Street & Plaza Overlay Zones

1. Service openings facing Wood Street are discouraged, where service openings are necessary they shall be subject to the following limitations.
 - a. The maximum combined width of the service access openings shall not exceed eight (8) feet in any 60 feet of street frontage
 - b. No individual service access opening shall exceed eight (8) feet in width

6.33 Underground Utility Connections

Applicability

The following guidelines apply to all Development Areas, except as specified below.

Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing buildings

General Guidelines

All utility lines serving lots within the Wood Street Zoning District shall be underground to point of entry at building, including electrical, telephone, data and cable services.

6.34 Screening of Equipment

Applicability

The following guidelines apply to all Development Areas except as specified below.

Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Adjacent to elevated roadways

General Guidelines

1. All equipment located within twenty (20) feet of a street line or adjoining setback line shall be screened by one of the following means. (Refer to 3.40 *Definition of Terms* for definition of equipment).
 - a. By enclosure entirely within the structure of the building with access provided by opaque service access door. (A portion of Electric meters may be exposed to allow reading of meter without opening door.)
 - b. By enclosure in a below grade vault or structure
 - c. By provision of a fence or wall with a maximum average transparency of 50 percent. The top of the fence or wall shall be at least equal in height to the equipment screened, but shall not exceed eight (8) feet maximum in height. See *Figure 6.34-1*,
 - d. By combination of an open fence and adjoining planting that will reach a height sufficient to screen the equipment within three years

Exceptions

The following equipment is not required to be screened.

- a. Residential gas meters serving individual dwelling units in groups not exceeding four meters.
 - b. Individual commercial gas meters.
 - d. Back flow preventers for irrigation systems not exceeding 2" nominal size.
2. Equipment located more than twenty (20) feet from a street setback line or street setback line shall be integrated into the overall building and site design.
 3. All equipment located on the roof of a building shall be screened by one of the following means.
 - a. By location such that no portion of the equipment is visible from the street.
 - b. By provision of a screening device consistent with the architectural character of the development project and with an open area not exceeding forty (40) percent that screens equipment visible from the street.

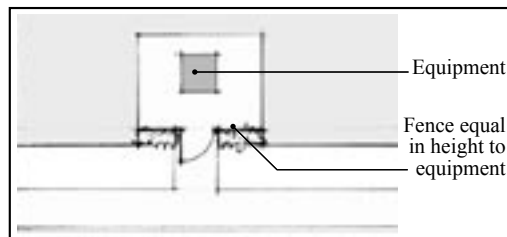


Figure 6.34-1, (Illustrative Only)

6.35 Mechanical Penetrations at Facades and Roofs

Applicability

The following guidelines apply to all Development Areas except as specified below.

Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing Buildings

General Guidelines

1. The following guidelines apply to roof penetrations at buildings located less than sixty (60) feet from a street line or street setback line.
 - a. Appliance vents, exhaust fans, and similar roof penetrations shall be located so as to not be visible from the street, to the greatest degree practical.
 - b. Where visible from street, roof penetrations shall be aligned to present an organized appearance.
 - c. All exposed metal penetrations and roof accessories shall be finished to match or blend with the roof color.
2. Mechanical penetrations at building facades, including kitchen and dryer vents, bath exhausts and other penetrations shall be aligned horizontally and vertically with other penetrations, window openings and/or other architectural features to present an organized appearance consistent with the architectural character of the building. See *Figure 6.35-1*

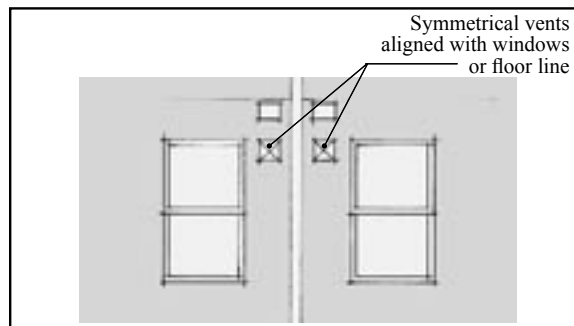


Figure 6.35-1, (Illustrative Only)

6.36 Waste Handling Areas

Applicability

The following guidelines apply at all Development Areas.

General Guidelines

1. All waste handling areas shall either be enclosed in the structure of the building or screened by a wall or fence consistent with architectural character of the building and adequate to prevent view of trash or recycling containers from the street, public access areas, common circulation areas or group open space areas.
2. At dwelling units to be served by individual waste bins, provide a dedicated location for bins, screened as indicated in item 1. above.
3. Adequate lighting shall be provided at the path leading to the waste handling enclosure as well as within the enclosure.
4. Space allocated for recycling shall be consistent with the requirements of Section 17.118 of the Planning Code.

Guidelines for Wood Street Overlay Zone

5. Waste Handling areas are not allowed in the Wood Street or Plaza Overlay Zones unless they conform to the following requirements.
 - a. The waste handling area shall be enclosed entirely within the structure of the building, with access provided by opaque service door.
 - b. The service doors accessing the waste handling shall not face Wood Street or the 16th Street Plaza.

6.40 Exterior Materials

Applicability

The following guidelines apply to all Development Areas except as specified below.

Exceptions

The locations or conditions indicated below are exempt from the guidelines contained in this section:

1. Existing exterior materials on existing buildings

Guidelines.

1. All exterior materials and building components shall be durable and of a high-quality.

2. Exterior Wall Materials

Encouraged: cement plaster (stucco), cement board (panels or planks); wood panels, planks; metal – corrugated panels, flat panels; stone; brick & split face block.

Discouraged: EIFS (Exterior Insulation and Finish Systems), unfinished concrete block, hardboard or plywood siding

Not Allowed: vinyl or aluminum siding

3. Roofing Materials at Sloped Roofs where visible from the street (*roofs of 2:12 slope or greater*).

Encouraged: concrete or clay tile, (s-barrel or flat); high-quality composition shingles; fire-treated wood shakes or shingles; standing seam metal roofing

Discouraged: sheet or roll roofing; synthetic shakes or shingles; high-glaze tiles or glossy painted concrete tiles

4. Roofing Materials at flat roofs (*roofs less than 2:12 slope*).

No limitations

6.41 Exterior Color

Applicability

The following guidelines apply to all Development Areas.

General Guidelines.

1. Each project shall create a cohesive color palette that takes into consideration the finish of all exterior elements.
2. Projects are encouraged to employ more than one body color to articulate the form, rhythm and scale of the building.
3. Accent colors are encouraged where they enhance the architectural character of the development project.

6.42 Exterior Lighting

Applicability

The following guidelines apply to all Development Areas.

Guidelines

1. A minimum average lighting level of one foot candle shall be provided along all designated paths of travel between dwelling units, buildings and site entrances, public streets, and open spaces.
2. Exterior lighting shall be provided immediately adjacent to all entries to the site, buildings, dwelling units and commercial spaces.
3. All exterior light fixtures shall be designed and situated to avoid glare at occupied space.
4. Exterior light fixtures shall be compatible in location, design and finish with the architectural character of the development project.
5. The location and design of exterior lighting adjacent to a street or public access area shall be coordinated with lighting at the adjoining streetscape design.
6. High-pressure and low-pressure sodium lamps are not allowed due to poor color rendition.

6.50 Signage & Graphics

Applicability

The following guidelines apply to all Development Areas.

Coordination with Development Standards

Refer to Section 5.70 of the Development Standards for limitations on the display area and number of signs.

General Guidelines

1. Signs shall respect the architectural elements of the buildings they identify and shall be designed as architectural elements in their own right.
2. Signs shall not obscure architectural elements such as transoms or columns.
3. All exterior signage shall be professionally designed and fabricated of high-quality durable materials.
4. The size of signs and sign letters shall be in scale and proportion to the space in which they are located.
5. The design and alignment of adjacent signs shall be coordinated in order to achieve an organized appearance.
6. The following sign types are not allowed
 - a. Internally lit 'cabinet' signs
 - b. Moving signs
 - c. Blinking or flashing signs
7. Sign lighting shall utilize spotlighting or exposed or halo-lit neon and shall not create glare for pedestrians or motorists.

Guidelines for Projecting Signs

1. Location of projecting signs shall be coordinated to avoid obscuring other signage.

Guidelines for Freestanding Project Signs Serving Residential Uses

1. Free standing signs shall be designed to avoid blocking vehicular or pedestrian site lines.
2. Free standing signs shall not exceed five (5) feet in height.

6.60 Planting Areas

Applicability

The following guidelines apply to all Development Areas.

Coordination with Development Standards

Refer to Section 5.61 of the Development Standards for standards related to provision of trees at surface parking areas

General Guidelines

1. Planting areas should be designed to be attractive year round through provision of a variety of textures and seasonal color.
2. Planting shall be utilized for the following purposes:
 - a. to emphasize and enhance pedestrian and vehicular entries.
 - b. to screen service areas
 - c. to provide buffering between non-compatible site uses.
 - d. to provide buffering between private and group usable outdoor space
 - e. to improve appearance and usability of outdoor space.
3. Planting shall take into consideration public safety, and shall not interfere with the site lines or movement for motorists, pedestrians, or bicyclists.

Guidelines for Planting at Street Frontage

1. Setback areas between the back of sidewalk and the building line shall be designed to provide the maximum amount of planted area. A minimum of 75% of the required setback areas shall be planted.
2. Planting in required street setbacks shall be designed to not exceed 36” in height to maintain sight lines for pedestrian and residents except for trees limbed to provide visibility through and below the canopy. Higher planting are acceptable adjacent to buildings to provide privacy at street facing windows.
3. Trees shall be limbed to provide visibility through and below the canopy.
4. Where no street setback is required, planting areas are encouraged between the building face and the back of sidewalk to soften and enhance the street frontage.

Pot Sizes

1. Soil depth in pots should not be less than 18 inches.

Selection of Plant Materials

1. Trees, shrubs and ground covers should be selected primarily from drought tolerant native or Mediterranean species.
2. Selection of plant materials should take into account solar orientation, building shadow and soil characteristics to ensure sustained growth.
3. Trees should be a mix of deciduous and evergreen, and should be selected on the basis of hardiness and ease of maintenance.
4. Plant sizes should meet the following minimum sizes at the time of planting
 - a. Deciduous Shade Trees: 2 inch caliper
 - b. Ornamental trees: 1.5 inch caliper
 - c. Evergreen trees: 2 inch caliper
 - d. Multi-stem ornamental trees: 6-8 feet in height
 - e. Shrubs: 5 gallon container
 - f. Vines: 1 gallon container
 - g. Ground cover and perennials: 2-1/4 inch pots

Irrigation

1. All planting areas should be provided with an automatic irrigation system that meets the following criteria
 - a. Utilization of bubblers, drip systems, and other water efficient strategies
 - b. Provision of sufficient coverage to all landscape areas
 - c. Minimum overspray on non-planted areas.
 - d. Easily maintained.

Maintenance of Planted Areas

1. All landscape areas shall be maintained in conformance with standards set forth in Section 17.124.020 of the Planning Code.